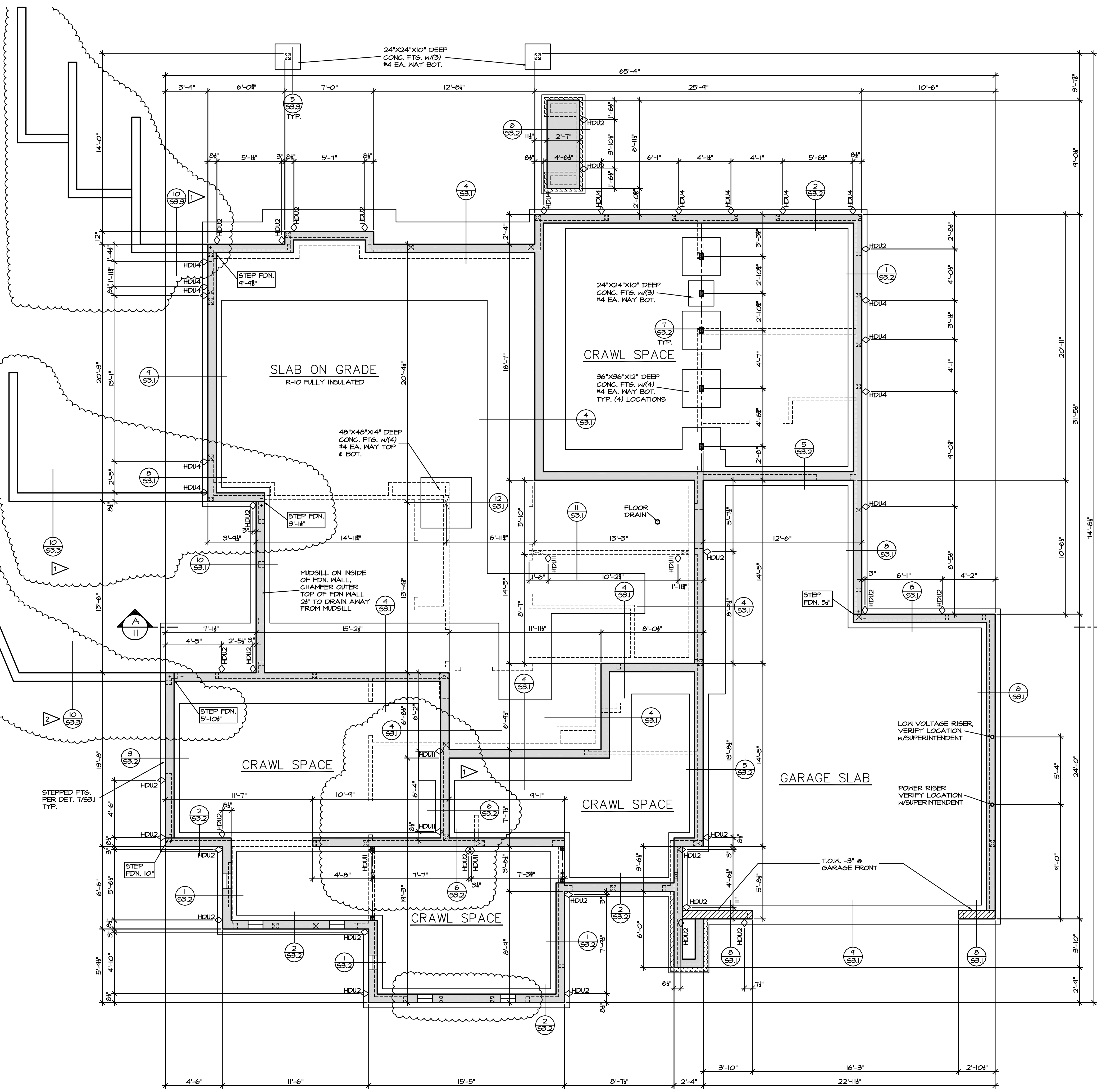


FOOTPRINT
SCALE: 1" = 20'-0"

FOUNDATION VENT CALC.
 CRAWL SPACE AREA = 1350 SQ.FT.
 VENT AREA REQ'D = (1350 SQ. FT.) / (144 SQ. IN./SQ. FT.)
 = 1246 SQ. IN.
 VENTS REQUIRED = (1246 SQ. IN.) / (714 SQ. IN. per 7x14 vent)
 = (16) 7x14" VENTS
 VENTS AT FRONT ELEVATION ARE IN FOUNDATION (FOR AESTHETICS), REMAINDER WILL BE IN RIM SHOWN ON SHT #3.

NOTES:

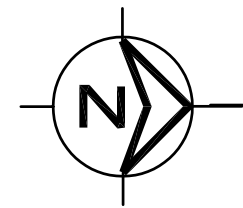
- FOR STRUCTURAL GENERAL NOTES, DESIGN CRITERIA, ABBREVIATIONS AND LEGEND, REFERENCE TO STRUCTURAL DRAWINGS.
- ALL FOOTINGS AND STRUCTURAL SLABS TO BEAR ON COMPETENT NATIVE SOIL AND/OR STRUCTURAL FILL.
- ALL WOOD IN CONTACT W/ CONCRETE TO BE PRESSURE TREATED OR EQUAL.
- ALL POSTS TO BE 4x6 AT BEAM SPLICES (U.N.O.)
- ALL BEAMS TO BE 3x4x1 LSL (U.N.O.)
- STEM WALLS TO BE 8" WIDE WITH 18" WIDE X 8" DEEP FOOTINGS (U.N.O.)
- STEP FOOTINGS AS REQUIRED BY GRADE.
- CONTRACTOR SHALL LOCATE AND VERIFY WITH OTHERS PRIOR TO POURING CONCRETE, ALL DOOR OPENINGS IN EXTERIOR FOUNDATION WALLS, DRAINS AND BLOCKOUTS FOR PLUMBING.
- ANCHOR BOLTS TO BE 5/8" DIA X 1" MINIMUM EMBEDMENT @ 40" O.C. U.N.O. ON SHEARWALL SCHEDULE. PROVIDE HOT-DIPPED GALVANIZED WASHERS AT PRESSURE TREATED SILL PLATES.
- 4" CONCRETE SLAB IN GARAGE, SLOPED TO DRAIN TOWARD OVERHEAD DOORS, REINF. W/6x6MI 4X14.4 W/F. SEE 2/53.1 FOR CONTROL & CONST. JOINT REQUIREMENTS.
- SEE CRAWL SPACE CALCULATION FOR NUMBER OF VENTS, ONE VENT OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING PER IRC R408.2. NO VENTS AT FRONT PORCH.
- A GROUND COVER OF 6 MIL POLYETHYLENE REQ'D PER WA STATE ADJUDGMENT TO IRC SECTION R408.1.
- ALL HARDWARE TO BE SIMPSON OR EQUAL.
- ALL DIMENSIONS ARE TO FACE OF FRAMING.
- VERIFY ALL +/- DIMENSIONS IN FIELD.



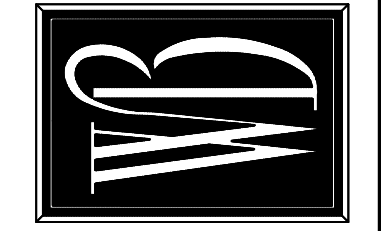
PROVIDE FULL DEPTH VERTICAL GRAIN BLOCKING IN FLOOR CAVITY BELOW SUPPORTED POSTS & MULTI-STUD COLUMNS TYP. ALL LOCATIONS

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



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 2630 - 116th Ave. NE. • Bellevue, Washington 98004 • (425) 828-6424
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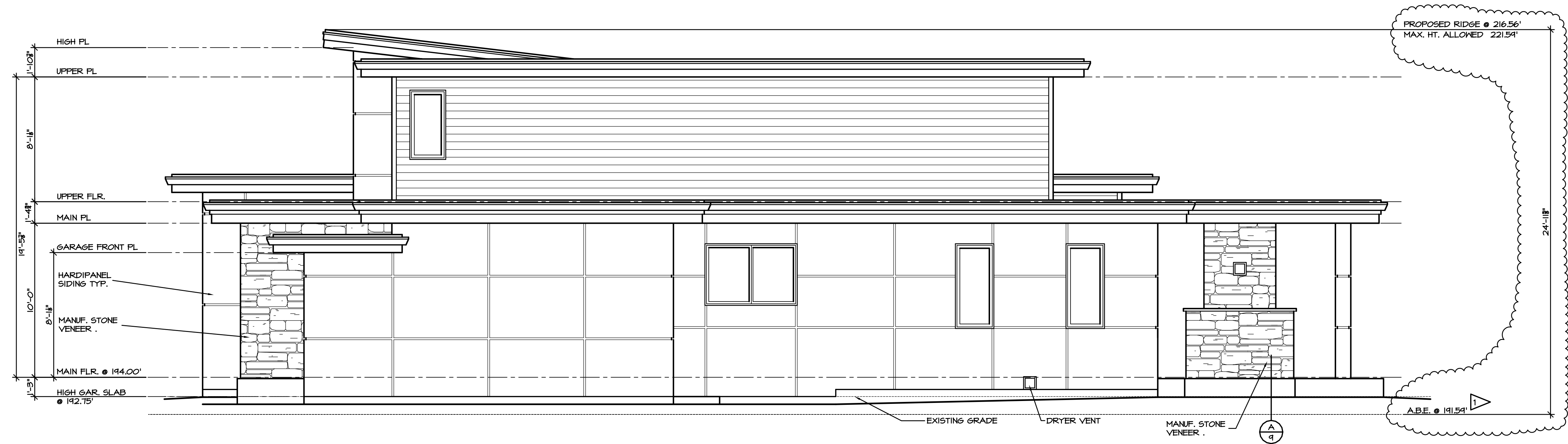
FOUNDATION PLAN
 4215 MERGERWOOD DR.

JOB NO.
9118
DATE
8/10/22
DRAWN BY
DS
ENGINEER
S.S.F.

REVISION	DATE
1	3/23/22
2	10/14/22

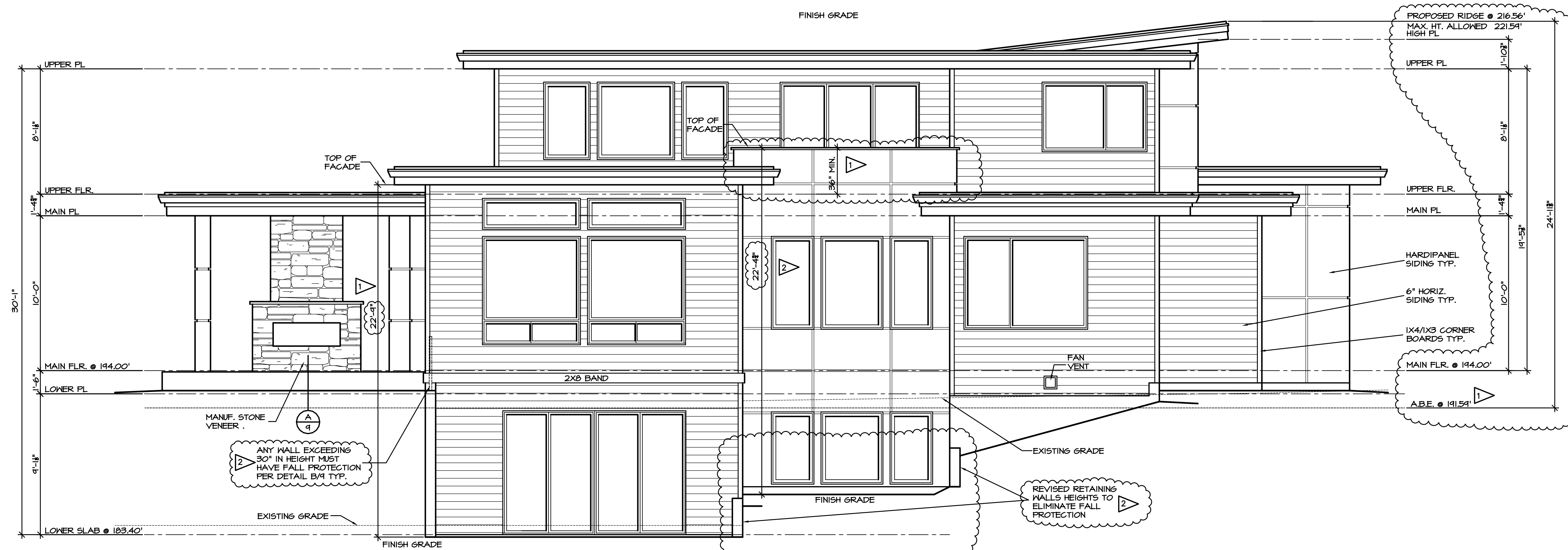
SHEET
2
OF 19

RAINIER



NORTH ELEVATION

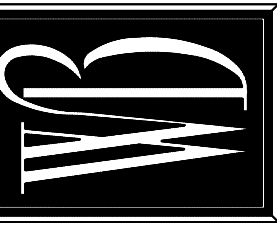
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

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CONTENT
 ELEVATIONS
 4215 MERCERWOOD DR.

JOB NO.
 9118
 DATE
 8/10/22
 DRAWN BY
 DS
 ENGINEER
 S.S.F.

REVISION	DATE
1	3/23/22
2	10/14/22

SHEET
 10
 OF 19

RAINIER

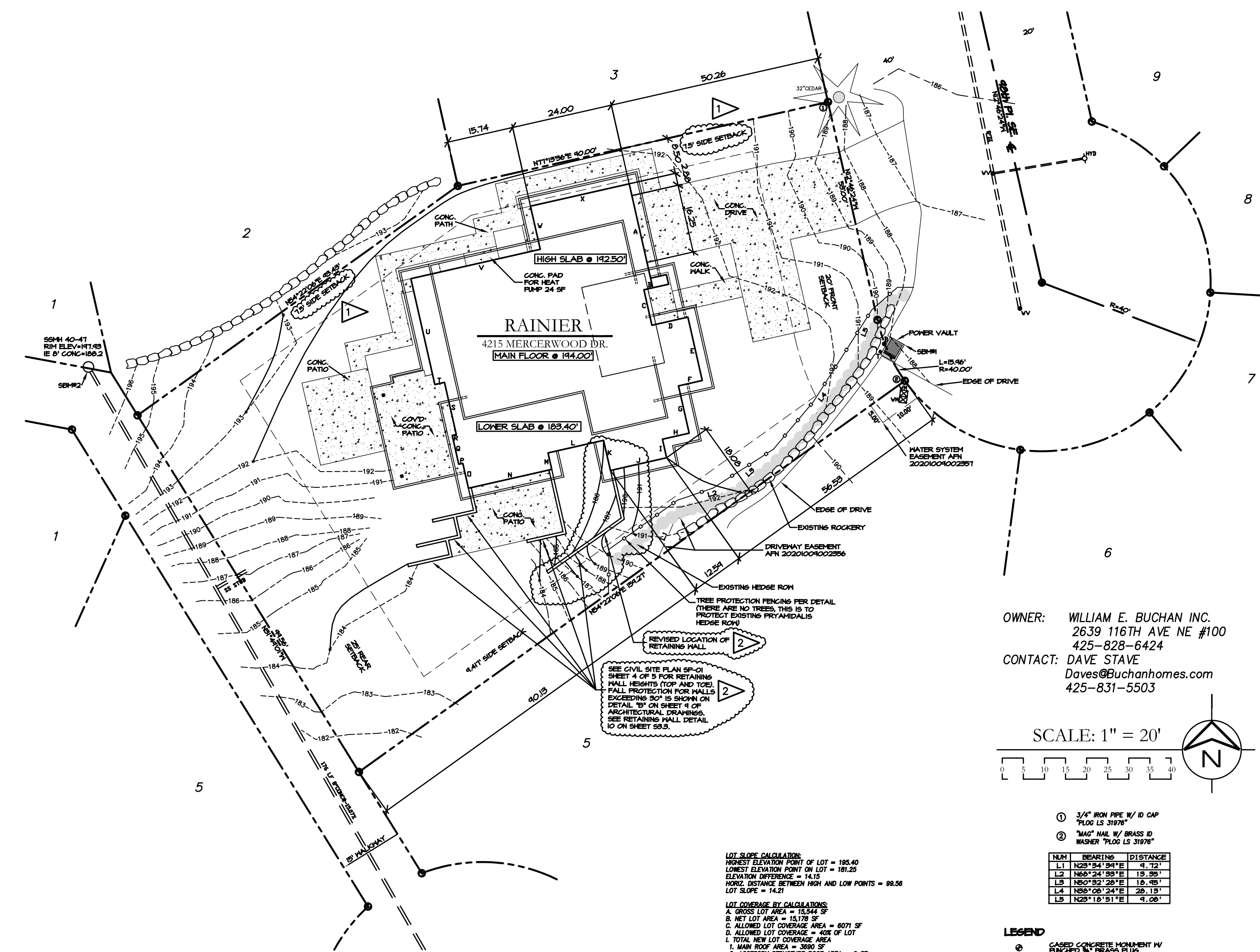


CONTENT
 SITE PLAN
 4215 MERCERWOOD DR

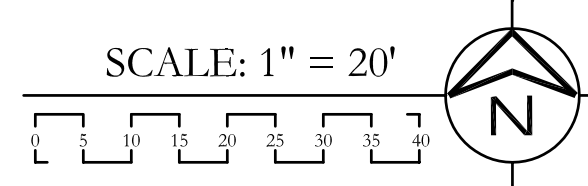
JOB NO.
 9118
 DATE
 10/14/21
 DRAWN BY
 DS
 ENGINEER
 SSF

REVISION	DATE
1	3/23/22
2	10/14/22

SHEET
 S



OWNER: WILLIAM E. BUCHAN INC.
 2639 116TH AVE NE #100
 425-828-6424
 CONTACT: DAVE STAVE
 Daves@buchanhomes.com
 425-831-5503



ITEM	DESCRIPTION	DISTANCE
1	1/4" RIBbed IRON PIPE W/ 10 CAP	7'0.00 LS 3357'
2	3/4" RIBbed IRON PIPE W/ BRASS D	ROCKER 7'0.00 LS 3376'
3	1/2" RIBbed IRON PIPE W/ 10 CAP	15'0.00 LS 3377'
4	1/2" RIBbed IRON PIPE W/ 10 CAP	15'0.00 LS 3378'
5	1/2" RIBbed IRON PIPE W/ 10 CAP	25'0.00 LS 3379'
6	1/2" RIBbed IRON PIPE W/ 10 CAP	25'0.00 LS 3380'

- LEGEND**
- CURED CONCRETE MONUMENT HV
 - 84 REBAR/IRON PIPE 1.5 DIA (UNLESS OTHERWISE NOTED)
 - 5 LOT IN BLOCK 10 OF MERCER WOOD VOL 20190630-30
 - 5 LOT IN BLOCK 10 OF MERCER WOOD VOL 20190630-30
 - SPOT ELEVATION
 - 66.60 METER
 - POWER METER
 - HYDRANT
 - WATER VALVE
 - WATER METER
 - SANITARY SEWER HANCOLE
 - BROADBAND RISER
 - TELEPHONE RISER
 - ROCKERY
 - ARBORESCULE PYRAMIDALS

SURVEY OF
 Lot 4, Block 10, MERCER WOOD, according to the plat thereof recorded in Volume 32 of Plats, Pages 52 through 55 inclusive, Records of King County, Washington, Situate in the County of King, State of Washington.

- NOTES**
- Boundary information shown is according to a Record of Survey recorded in Volume 32 of Plats, Pages 52 through 55 inclusive, Records of King County, Washington, Situate in the County of King, State of Washington.
 - Vertical control established by using BENCH MARKERS (BM) and a TOPCON Total Station (TS) instrument, contacted by the Surveyor, Dave Stave, on 10/14/21.
 - Site Bench Marker (SBM) NE corner of parcel shown @ 425' N of NE corner of lot. Elevation = 114.00' NAVD 83.
 - Site Bench Marker (SBM) SW corner of parcel shown @ 425' N of NE corner of lot. Elevation = 114.00' NAVD 83.
 - Water and sewer information, including pipe sizes is according to City of Mercer Island records.
 - Contour Interval = 1 foot
 - Site address: 4215 Mercerwood Dr.
 - Site APN: 545600-0480
 - Site area: 15244 sq. ft.
 - Zoning: R-64

TREE PROTECTION AREA (TPZ) KEEP OUT!

DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA

Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

1. Correction Notices or Stop Work Orders until compliance is achieved
2. RE Inspection Fees
3. Arborist reports recommending mitigation

Notes:

1. No pruning shall be performed unless under the direction of an arborist
2. No equipment shall be stored or operated inside the protective fencing including during fence installation and removal
3. No storage of materials shall occur inside the protective fencing
4. Refer to Site/Utility Plan for allowable modifications to the tree protection area.
5. Unauthorized activities in tree protection area may require evaluation by private arborist to identify impacts and mitigation required
6. Exposed roots for roots > 1" damaged during construction, make a clean straight cut to remove damaged portion and inform City Arborist

Tree protection fence: 4'6" chain link fence, solidly anchored into the ground, or 4' authorized high-density polyethylene fencing with 3.5' x 1.5' openings; color orange. Steel posts installed at 8' o.c.

2" x 6" steel posts or approved equal

Maintain existing grade with the tree protection fence unless otherwise indicated on the plans.

Any Work in the protected area must be with the permission of the City Arborist john.keeney@mercervgov.org

LOT SLOPE CALCULATION

HIGHEST ELEVATION POINT OF LOT = 185.40
 LOWEST ELEVATION POINT OF LOT = 182.20
 ELEVATION DIFFERENCE = 3.20
 HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS = 99.50
 LOT SLOPE = 3.21%

LOT COVERAGE CALCULATIONS

A. GROSS LOT AREA = 15,544 SF
 B. NET LOT AREA = 14,176 SF
 C. ALLOWED LOT COVERAGE AREA = 80% OF B.
 D. ALLOWED LOT COVERAGE = 11,341 SF
 E. TOTAL NEW LOT COVERAGE AREA = 0 SF
 F. TOTAL NEW LOT COVERAGE AREA = 0 SF
 G. TOTAL NEW LOT COVERAGE AREA = 0 SF
 H. TOTAL NEW LOT COVERAGE AREA = 0 SF
 I. TOTAL NEW LOT COVERAGE AREA = 0 SF
 J. TOTAL NEW LOT COVERAGE AREA = 0 SF
 K. TOTAL PROJECT LOT COVERAGE AREA = 3488 OF LOT COVERAGE

LANDSCAPE CALCULATIONS

A. GROSS LOT AREA = 15,544 SF
 B. NET LOT AREA = 14,176 SF
 C. ALLOWED LOT COVERAGE AREA = 80% OF B.
 D. ALLOWED LOT COVERAGE = 11,341 SF
 E. TOTAL EXISTING LANDSCAPE AREA = 2307 SF
 F. TOTAL EXISTING LANDSCAPE AREA = 136 SF
 G. TOTAL EXISTING LANDSCAPE AREA = 136 SF
 H. TOTAL EXISTING LANDSCAPE AREA = 136 SF
 I. TOTAL EXISTING LANDSCAPE AREA = 136 SF
 J. TOTAL EXISTING LANDSCAPE AREA = 136 SF
 K. TOTAL PROJECT LANDSCAPE AREA = 136 SF

AVERAGE BUILDING ELEVATION

A = 182.50 x 25.39 = 4623.27
 B = 182.20 x 21.7 = 3952.94
 C = 182.40 x 8.65 = 1577.86
 D = 182.20 x 8.75 = 1592.25
 E = 182.40 x 25.42 = 4638.00
 F = 182.20 x 21.7 = 3952.94
 G = 182.40 x 25.70 = 4666.68
 H = 182.40 x 8.20 = 1495.68
 I = 182.20 x 12.87 = 2343.71
 J = 182.20 x 12.8 = 2330.16
 K = 182.20 x 12.8 = 2330.16
 L = 182.20 x 12.80 = 2330.16
 M = 184.00 x 25.25 = 4646.00
 N = 184.00 x 11.0 = 2024.00
 O = 184.00 x 7.00 = 1288.00
 P = 182.10 x 12.87 = 2343.71
 Q = 182.20 x 12.8 = 2330.16
 R = 182.20 x 25.70 = 4666.68
 S = 182.20 x 25.42 = 4638.00
 T = 182.20 x 12.80 = 2330.16
 U = 182.20 x 12.80 = 2330.16
 V = 182.20 x 12.80 = 2330.16
 W = 182.20 x 12.80 = 2330.16
 X = 182.20 x 12.80 = 2330.16
 Y = 182.20 x 12.80 = 2330.16
 Z = 182.20 x 12.80 = 2330.16

AVG. BUILDING ELEVATION (AVE) = 2155.35/289.08 = 181.82
 ALLOWED BUILDING HEIGHT = 21.25'
 TOTAL BUILDING HEIGHT = 24.57'
 PROPOSED ROOF HEIGHT = 24.58'
 MAIN FLOOR ELEVATION = 114.00'
 HIGH SLAB ELEVATION = 112.50'

4215 MERCERWOOD DR MERCER ISLAND SITE PLAN

VERTICAL DATUM

NAVD 88

BENCHMARK

CITY OF MERCER ISLAND BENCHMARK NO. 2173
BRASS NAIL W/ PUNCH IN 3"x3" CONC @ INTX. 86TH AVE SE & SE 44TH ST
ELEVATION: 359.37'
SITE BENCH MARK#1 (SBM#1): NE CORNER OF POWER VAULT - 8.5N OF SE CORNER OF LOT. ELEVATION=187.90 (NAVD 88)
SITE BENCH MARK#2 (SBM#2): SLY RIM SANITARY SEWER MANHOLE #40-47 - 15.5' NW OF NW LOT CORNER ELEVATION=197.93 (NAVD 88)

HORIZONTAL DATUM & BASIS OF BEARING

PER THE PLAT OF MERCERWOOD ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 52 OF PLATS, PAGE 32, RECORDS OF KING COUNTY WASHINGTON.
ACCEPTED THE BEARING OF S 12°46'24" E FOR 150TH PLACE BASED ON FOUND MONUMENTS IN CASE PER RECORD OF SURVEY, RECORDING NO 20200818900007.

LEGAL DESCRIPTION

LOT 4, BLOCK N, MERCER WOOD, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 52 OF PLATS, PAGES 32

SURVEY NOTES

- BOUNDARY INFORMATION SHOWN IS ACCORDING TO A RECORD OF SURVEY RECORDED IN VOLUME 430 OF SURVEYS, PAGE 84, UNDER KING COUNTY RECORDING NO. 20200818900007
- VERTICAL CONTROL ESTABLISHED BY USING RTK MEASUREMENT UTILIZING A TOPCON MODEL HIPER SR GPS RECEIVER CONNECTED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN). VERTICAL DATUM - NAVD 88
- SITE BENCH MARK#1 (SBM#1): NE CORNER OF POWER VAULT - 8.5N OF SE CORNER OF LOT. ELEVATION=187.90 (NAVD 88)
- SITE BENCH MARK#2 (SBM#2): SLY RIM SANITARY SEWER MANHOLE #40-47 - 15.5' NW OF NW LOT CORNER ELEVATION=197.93 (NAVD 88)
- WATER AND SEWER INFORMATION, INCLUDING PIPE SIZES IS ACCORDING TO CITY OF MERCER ISLAND RECORDS.
- CONTOUR INTERVAL = 1 FOOT
- SITE ADDRESS: 4215 MERCERWOOD DR.
- SITE APN: 545800-0480
- SITE AREA: 15,544 SQ. FT.

SITE DATA

HIGHEST ELEVATION OF LOT:	195.4
LOWEST ELEVATION OF LOT:	181.0
LOT SLOPE:	14.5%
TOTAL SITE AREA:	15,544 SF
TOTAL SITE NET AREA:	15,178 SF
ALLOWED LOT COVERAGE:	40%
PROPOSED LOT COVERAGE *	5,178 SF (34.1%)
MAX. ALLOWED HARDSCAPE	1,386 SF (9%)
LEFTOVER AREA FROM LOT COVERAGE	891 SF (5.9)
EXISTING HARDSCAPE	156 SF (1%)
PROPOSED HARDSCAPE	1,343 SF (8.9%)
PROJECT IMPERVIOUS AREA:	6,677 SF (44%)

* LOT COVERAGE INCLUDES THE COMBINATION OF BUILDINGS, INCLUDING EAVES AND ROOF OVERHANGS, AND VEHICULAR DRIVING SURFACES AS DEFINED PER MIMC 19.16.010

OWNER / ARCHITECT

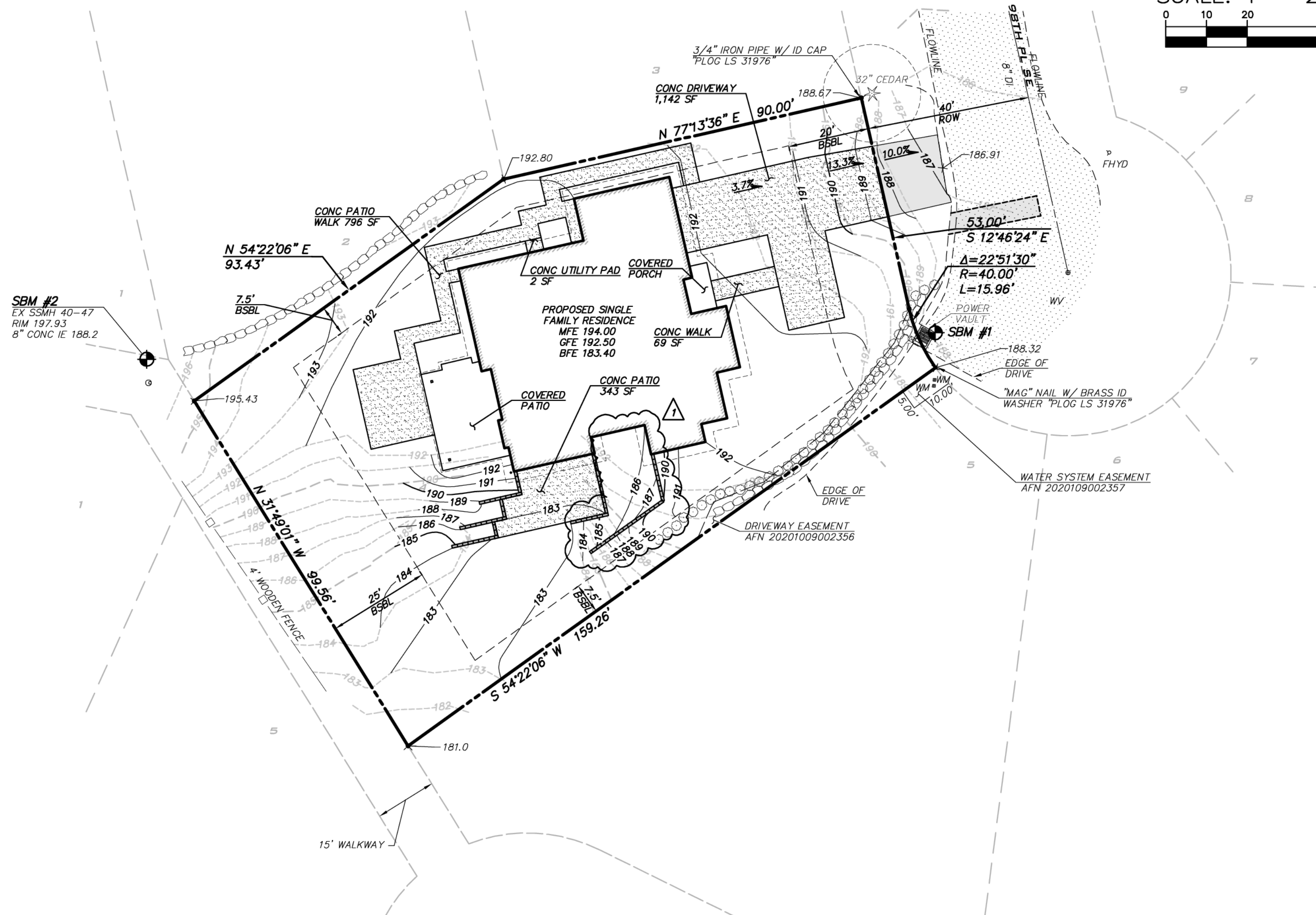
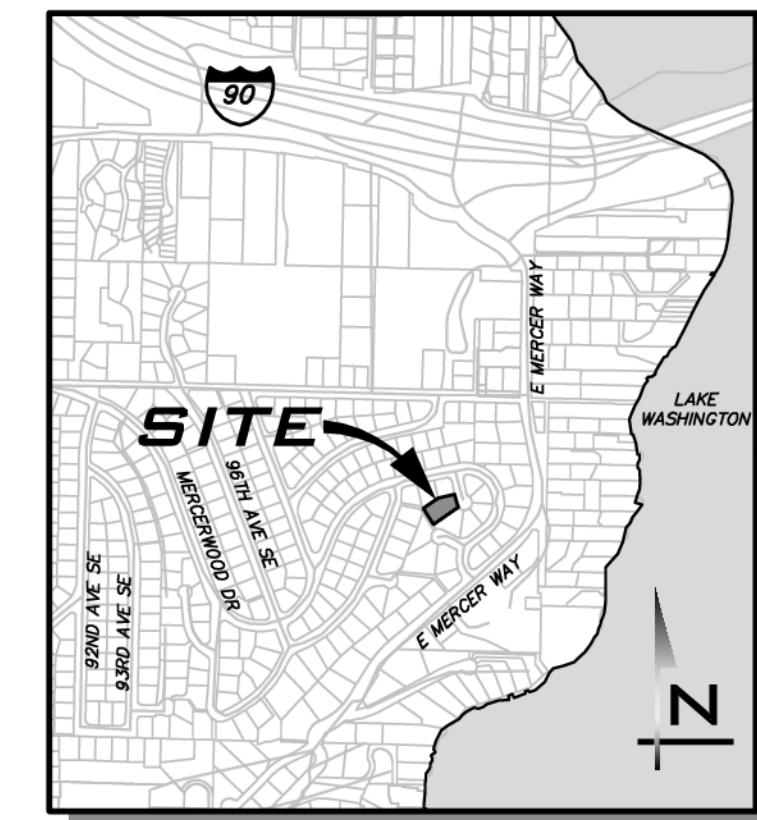
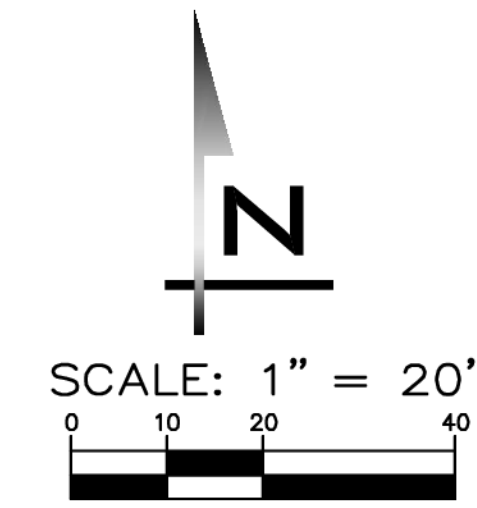
WILLIAM E. BUCHAN INC.
2630 116 AVE NE #100
BELLEVUE, WA 98004
(425) 831-5503
CONTACT: DAVID STAVE

ENGINEER

THE BLUELINE GROUP
25 CENTRAL WAY, SUITE 400
KIRKLAND, WA 98033
(425) 250-7224
CONTACT: TODD A. OBERG, PE

GEOTECH ENGINEER

TERRA ASSOCIATES, INC
12220 113TH AVE NE, SUITE 130
KIRKLAND, WA 98034
(425) 821-7777
CONTACT: CAROLYN S. DECKER, PE




LEGEND	
PROPOSED FEATURES	
--- BOUNDARY	■ MAILBOX
--- RIGHT-OF-WAY	■ SIGN
--- LOT LINE	■ GRAVEL
--- SIDEWALK	■ ASPHALT PAVEMENT
--- CENTER LINE	■ CONCRETE
--- SAWCUT	
--- EASEMENT	
--- BUILDING FOOTPRINT	
--- BUILDING OVERHANG	
--- BUILDING ROOFLINE	
--- BUILDING SETBACK (BSBL)	
--- 190	10' PROPOSED CONTOURS
--- 192	2' PROPOSED CONTOURS
PROPOSED STORM DRAINAGE	
--- STORM DRAIN PIPE	⊙ YARD DRAIN
--- ROOF & FOOTING DRAIN	
--- SWALE OR DITCH	
--- SURFACE FLOW	
EXISTING FEATURES	
--- ADJACENT PLAT/PARCEL LINE	⊠ GAS METER
--- ADJACENT RIGHT-OF-WAY	⊠ GAS VALVE
--- CENTERLINE	⊠ MAIL BOX
--- EASEMENT	⊠ SIGN
--- SURFACE FEATURES	
--- BUILDING FOOTPRINT	⊙ EXISTING CONIFEROUS TREE
--- 190	10' CONTOURS
--- 192	2' CONTOURS
--- SD	STORM DRAIN PIPE
--- SS	SEWER MAIN
--- W	WATER MAIN
--- OHP	AERIAL POWER LINE
--- G	GAS MAIN
--- X	WIRE FENCE
--- BOARD FENCE	
--- RETAINING WALL	
--- ROCKERY	
⊠	CATCH BASIN, TYPE I
⊠	CATCH BASIN, TYPE II
⊠	SD PIPE FLOW
⊠	SEWER MANHOLE
⊠	SS PIPE FLOW
⊠	FIRE HYDRANT
⊠	WATER METER
⊠	GATE VALVE
⊠	POWER POLE
⊠	GUY ANCHOR
⊠	STREET LIGHT
⊠	POWER VAULT
⊠	POWER METER
⊠	EXISTING CONIFEROUS TREE TO BE REMOVED
⊠	EXISTING DECIDUOUS TREE TO BE REMOVED
⊠	EXISTING CONIFEROUS TREE TO BE SAVED
⊠	EXISTING DECIDUOUS TREE TO BE SAVED
⊠	DRIP LINE
⊠	CONIFEROUS TREE TO BE SAVED
⊠	DECIDUOUS TREE TO BE SAVED
⊠	ASPHALT
⊠	CONCRETE
⊠	GRAVEL
TESC FEATURES	
--- FILTER FENCE	⊠ RIPRAP PAD
--- CONSTRUCTION FENCE	⊠ ROCK CHECK DAM
--- INTERCEPTOR SWALE	⊠ PIPE FLOW
⊠	INTERIM CATCH BASIN PROTECTION (INSERT)
⊠	LIMITS OF CLEARING

EXISTING UTILITY NOTE
EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATION, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

BUILDING CALCULATIONS
SEE ARCHITECTURAL SITE PLAN FOR TREE RETENTION, BUILDING HEIGHTS AND FAR CALCULATIONS.

SHEET INDEX

1	CV-01	COVER SHEET
2	TP-01	TESC, DRAINAGE & TREE RETENTION PLAN
3	TP-02	TESC NOTES & DETAILS
4	SP-01	SITE PLAN
5	DT-01	DETAILS



BLUELINE

25 CENTRAL WAY, SUITE 400,
KIRKLAND, WA 98033
P: 425.216.4051 F: 425.216.4052
WWW.THEBLUELINEGROUP.COM

SCALE:
AS NOTED

PROJECT MANAGER:
YANNICK METS, PE


PROJECT ENGINEER:
ALREZA RAMEZANI, PE

DESIGNER:
LEE M. TOMKINS

ISSUE DATE:
10/14/2022

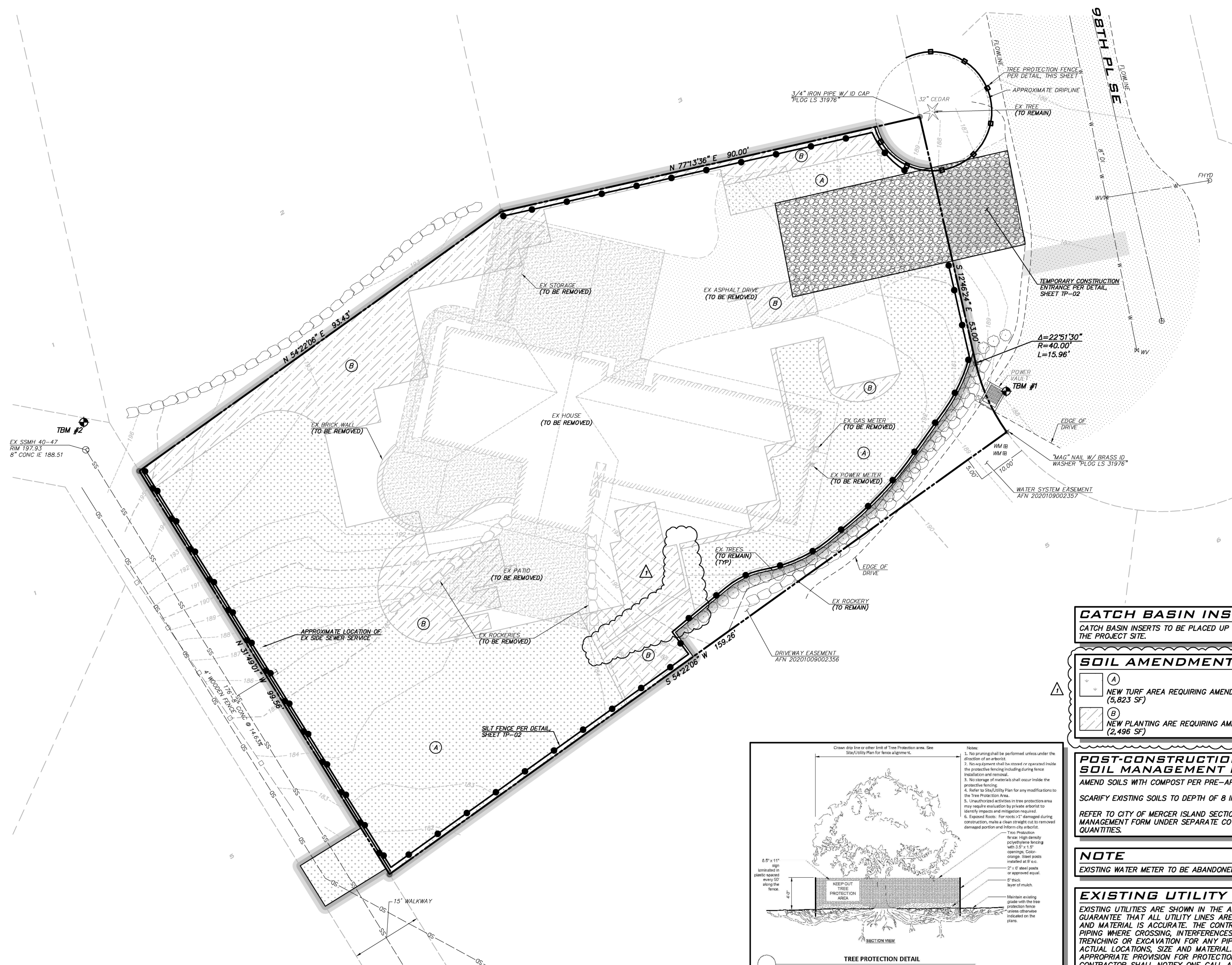
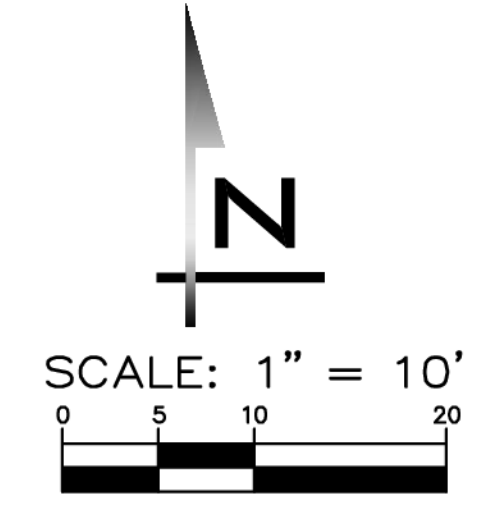
NO	DATE	BY	REVISIONS

COVER SHEET
 4215 MERCERWOOD DR
 SITE PLAN
 CITY OF MERCER ISLAND WASHINGTON



10/14/22
JOB NUMBER:
20-410
SHEET NAME:
CV-01

SHT **1** OF **5**



CATCH BASIN INSERT NOTE
 CATCH BASIN INSERTS TO BE PLACED UP TO 250 FT DOWNSTREAM OF THE PROJECT SITE.

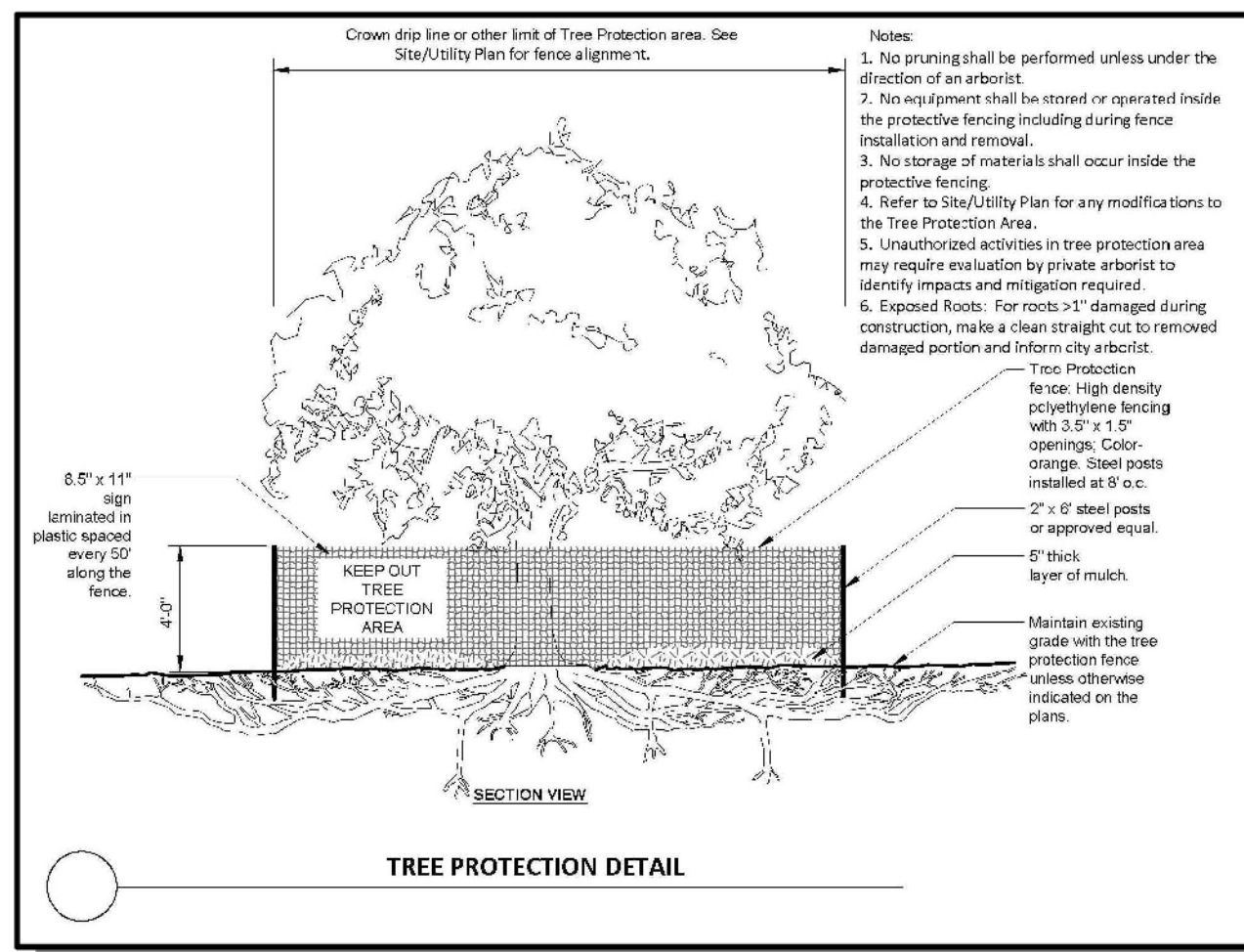
SOIL AMENDMENT LEGEND

	A NEW TURF AREA REQUIRING AMENDMENT (5,823 SF)
	B NEW PLANTING ARE REQUIRING AMENDMENT (2,496 SF)

POST-CONSTRUCTION SOIL MANAGEMENT NOTES
 AMEND SOILS WITH COMPOST PER PRE-APPROVED AMENDMENT METHOD
 SCARIFY EXISTING SOILS TO DEPTH OF 8 INCHES
 REFER TO CITY OF MERCER ISLAND SECTION D: POST-CONSTRUCTION SOIL MANAGEMENT FORM UNDER SEPARATE COVER FOR CALCULATED AMENDMENT QUANTITIES.

NOTE
 EXISTING WATER METER TO BE ABANDONED AT THE CITY MAIN.

EXISTING UTILITY NOTE
 EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.



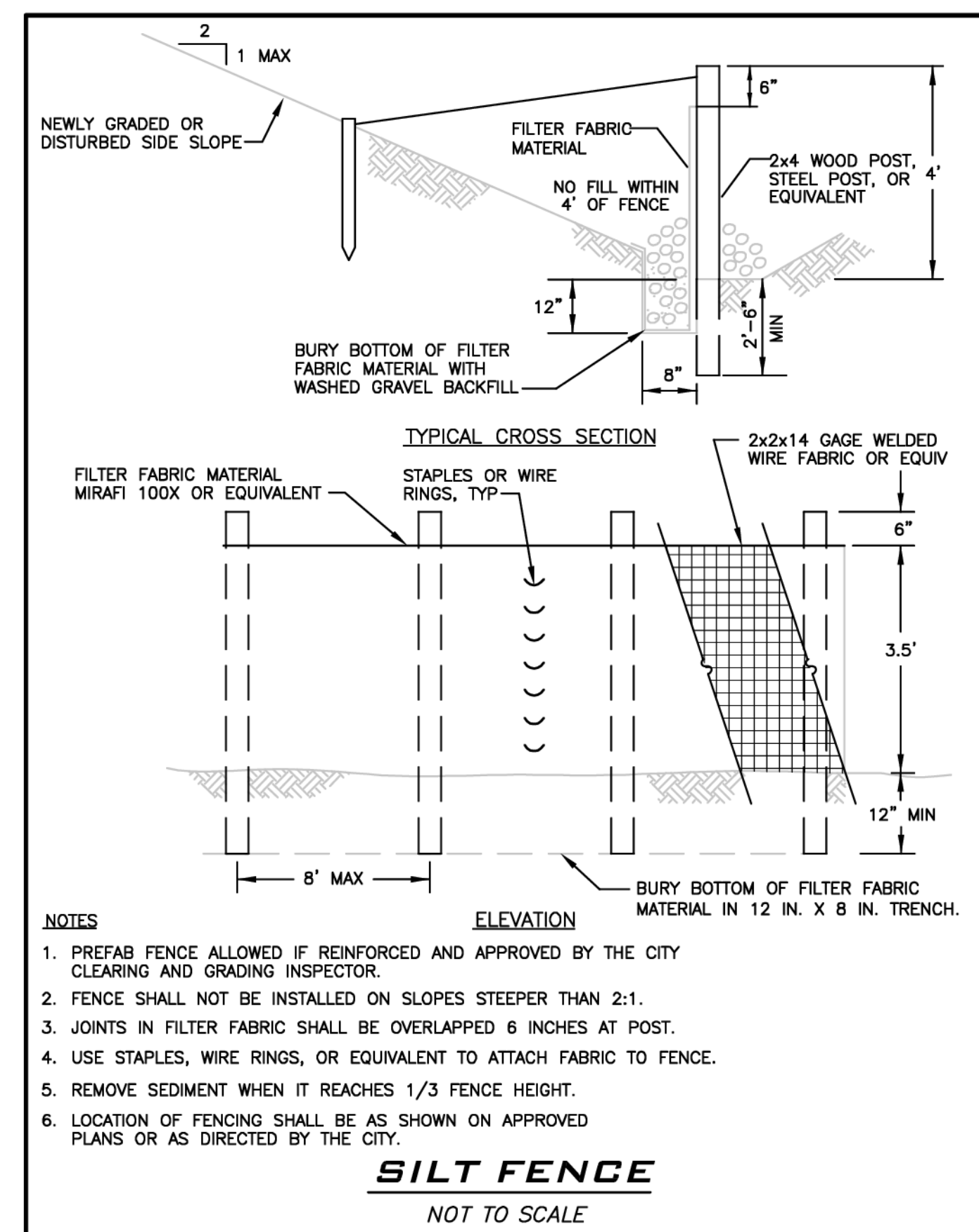
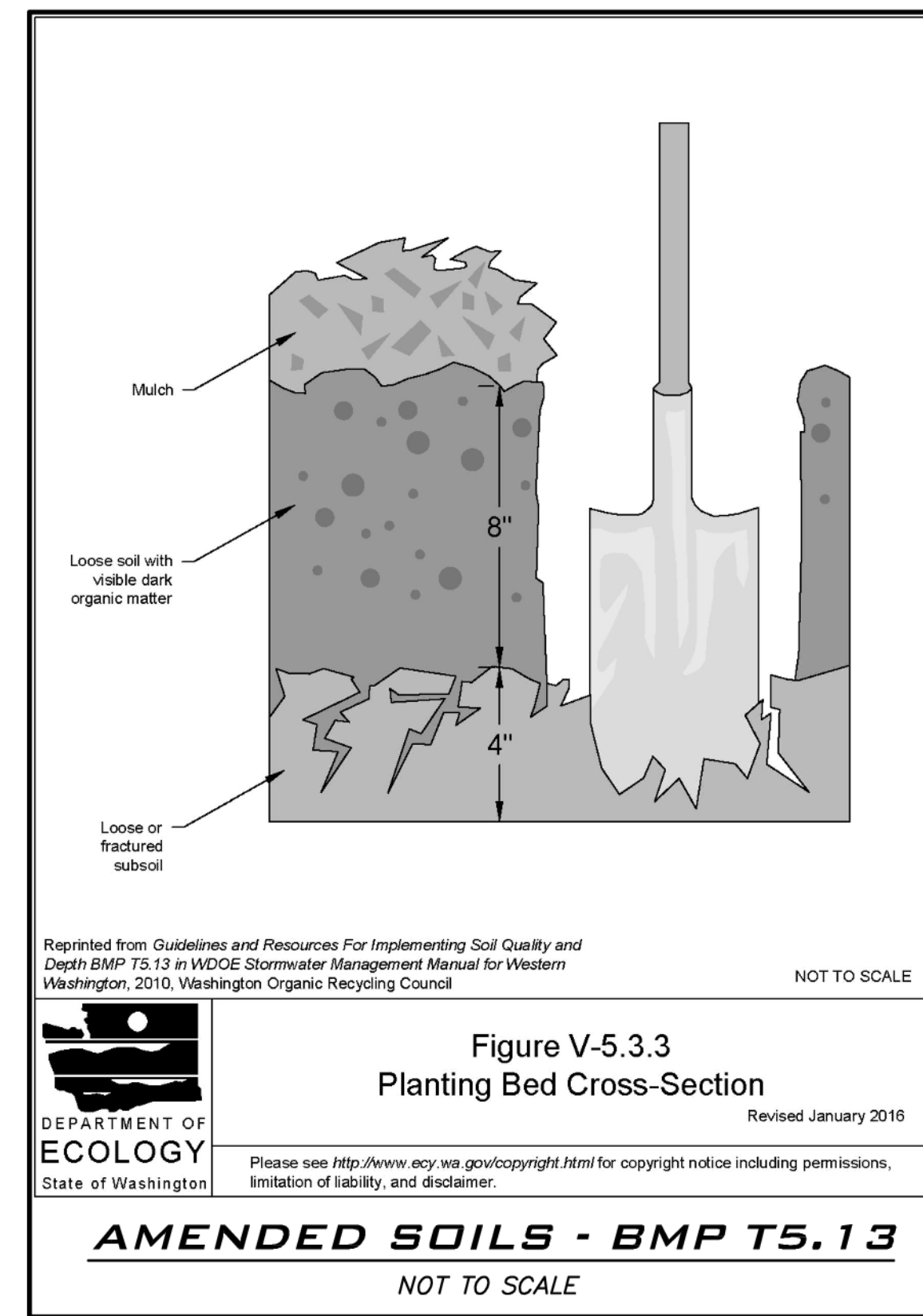
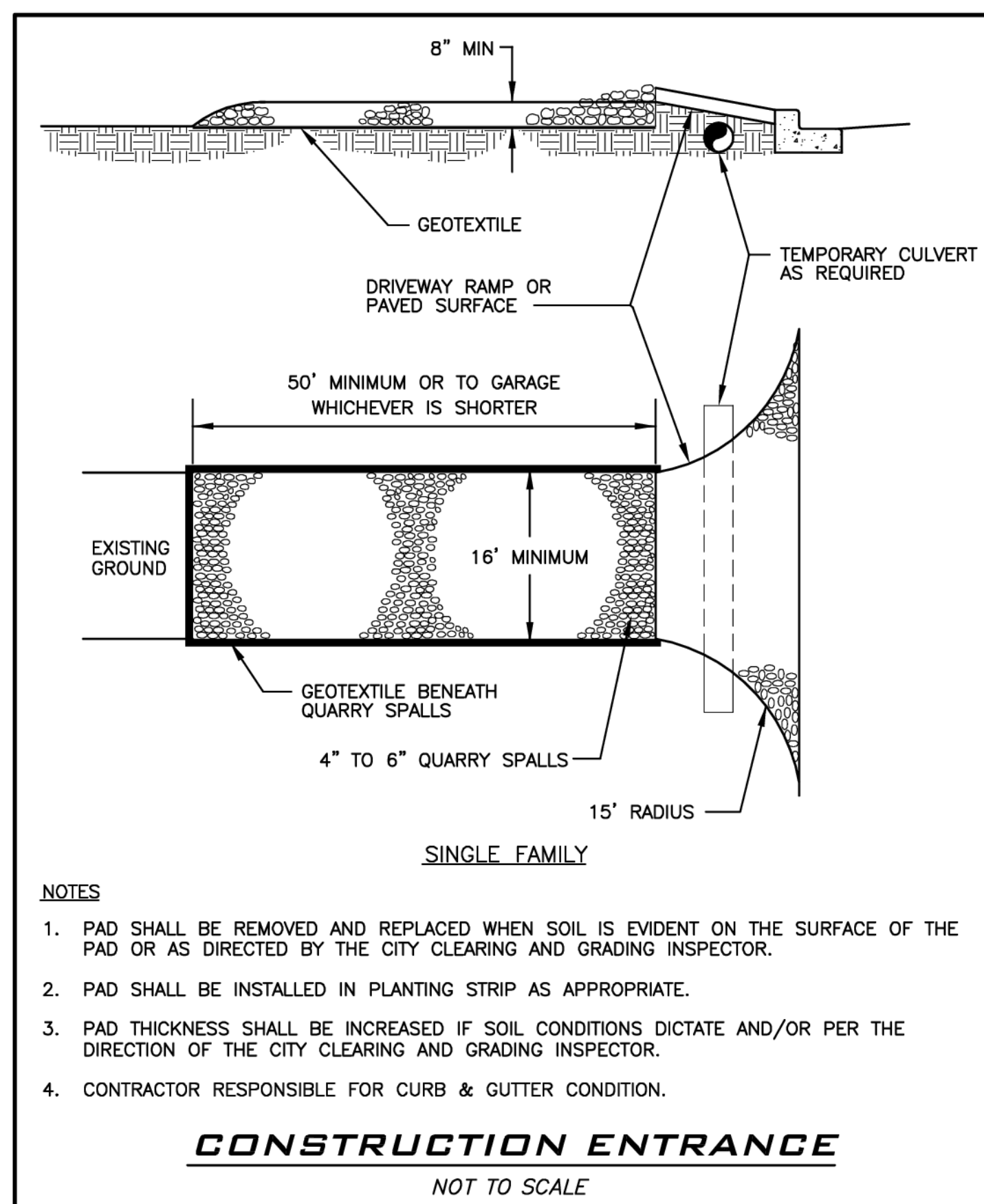
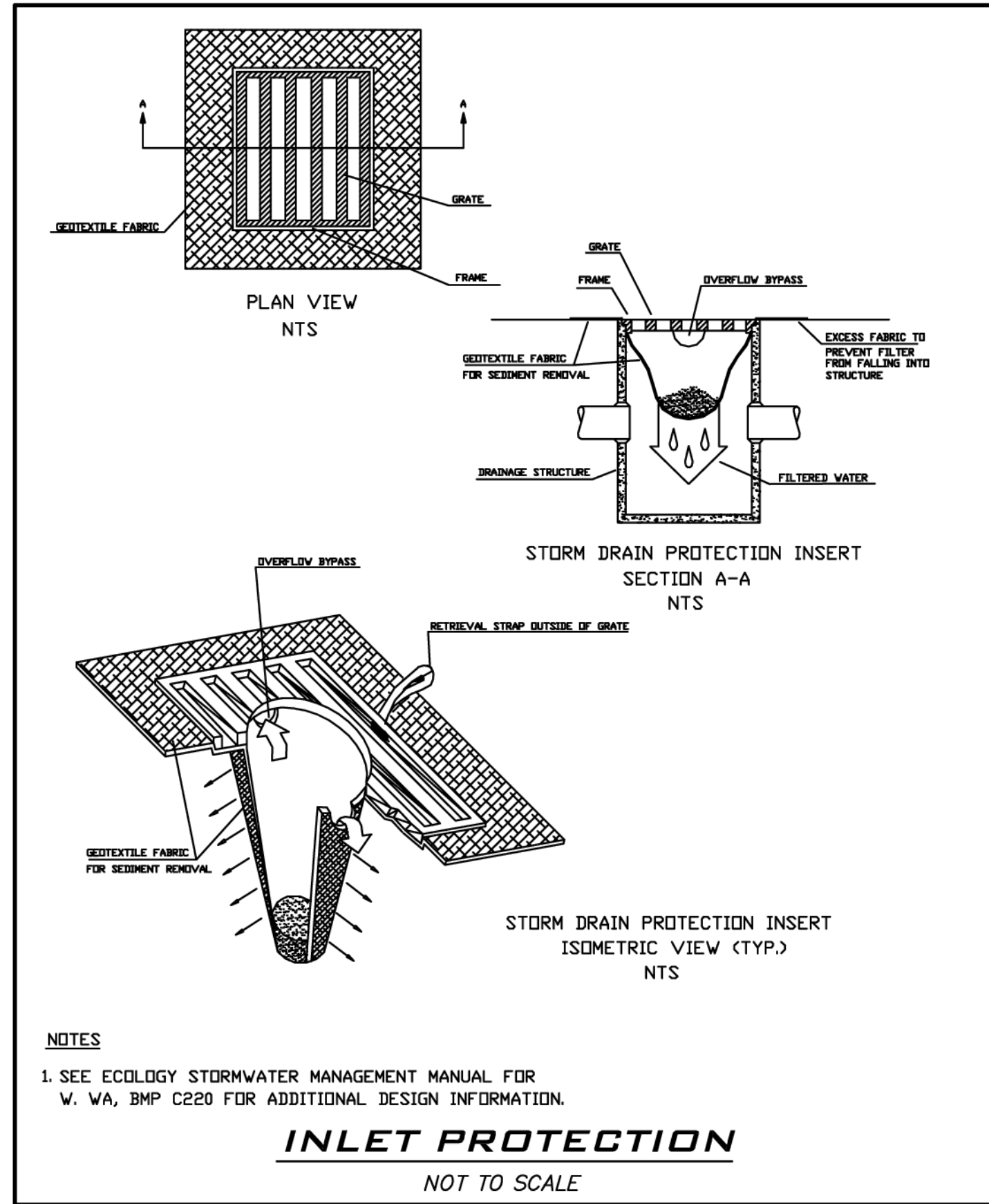
NO	DATE	BY	REVISIONS

TESG, DRAINAGE & TREE RETENTION PLAN
4215 MERCERWOOD DR
SITE PLAN
 CITY OF MERCER ISLAND WASHINGTON



TESC - PLAN NOTES

- THE APPROVED CONSTRUCTION SEQUENCE SHALL BE AS FOLLOWS:
 - CONDUCT PRE-CONSTRUCTION MEETING.
 - FLAG OR FENCE CLEARING LIMITS.
 - POST SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR.
 - INSTALL CATCH BASIN PROTECTION IF REQUIRED.
 - GRADE AND INSTALL CONSTRUCTION ENTRANCES(S).
 - INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
 - CONSTRUCT SEDIMENT PONDS AND TRAPS.
 - GRADE AND STABILIZE CONSTRUCTION ROADS.
 - CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
 - MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
 - RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY TESC MINIMUM REQUIREMENTS.
 - COVER ALL AREAS WITHIN THE SPECIFIED TIME FRAME WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, CRUSHED ROCK OR EQUIVALENT.
 - STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 7 DAYS.
 - SEED OR SOO ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
 - UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.
- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE SET BY SURVEY AND CLEARLY FLAGGED IN THE FIELD BY A CLEARING CONTROL FENCE PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE OR REMOVAL OF ANY GROUND COVER BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE PERMITTEE/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- THE TESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G., ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY, MORE TESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
- THE ESC FACILITIES SHALL BE INSPECTED BY THE PERMITTEE/CONTRACTOR DAILY DURING NON-RAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING A RAINFALL EVENT, AND AT THE END OF EVERY RAINFALL, AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMPORARY SILTATION PONDS AND ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED. WRITTEN RECORDS SHALL BE KEPT DOCUMENTING THE REVIEWS OF THE ESC FACILITIES.
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.
- ALL DENuded SOILS MUST BE STABILIZED WITH AN APPROVED TESC METHOD (E.G. SEEDING, MULCHING, PLASTIC COVERING, CRUSHED ROCK) WITHIN THE FOLLOWING TIMELINES: APRIL 1 TO OCTOBER 31 - SOILS MUST BE STABILIZED WITHIN 7 DAYS OF GRADING. NOVEMBER 1 TO MARCH 31 - SOILS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING. AT NO TIME SHALL MORE THAN 1" OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN. NO UNDERGROUND DETENTION TANK, DETENTION VAULT, OR SYSTEM WHICH BACKS UNDER OR INTO A POND SHALL BE USED AS A TEMPORARY SETTLING BASIN.
- WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).
- WHERE STRAW MULCH IS REQUIRED FOR TEMPORARY EROSION CONTROL, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2".
- ALL EROSION/SEDIMENTATION CONTROL PONDS WITH A DEAD STORAGE DEPTH EXCEEDING 6" MUST HAVE A PERIMETER FENCE WITH A MINIMUM HEIGHT OF 3'.
- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
- THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CITY OF MERCER ISLAND INSPECTOR.
- A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- ALL LOTS ADJOINING OR HAVING ANY NATIVE GROWTH PROTECTION EASEMENTS (NGPE) SHALL HAVE A 4' HIGH TEMPORARY CONSTRUCTION FENCE (CYCLONE OR PLASTIC MESH) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA RESTRICTED BY THE NGPE AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR CLEARING AND REMAIN IN PLACE UNTIL A DWELLING IS CONSTRUCTED AND OWNERSHIP TRANSFERRED TO THE FIRST OWNER/OCCUPANT.
- CLEARING LIMITS SHALL BE DELINEATED WITH A CLEARING CONTROL FENCE. THE CLEARING CONTROL FENCE SHALL CONSIST OF A 6'-FT. HIGH CHAIN LINK FENCE ADJACENT THE DRIP LINE OF TREES TO BE SAVED, WETLAND OR STREAM BUFFERS, AND SENSITIVE SLOPES. CLEARING CONTROL FENCES ALONG WETLAND OR STREAM BUFFERS OR UPSLOPE OF SENSITIVE SLOPES SHALL BE ACCOMPANIED BY AN EROSION CONTROL FENCE. IF APPROVED BY THE CITY, A FOUR-FOOT HIGH ORANGE MESH CLEARING CONTROL FENCE MAY BE USED TO DELINEATE CLEARING LIMITS IN ALL OTHER AREAS.
- OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS.
- ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION. CATCH BASINS DIRECTLY DOWNSTREAM OF THE CONSTRUCTION ENTRANCE OR ANY OTHER CATCH BASIN AS DETERMINED BY THE CITY INSPECTOR SHALL BE PROTECTED WITH A FILTER FABRIC SOCK OR EQUIVALENT.
- THE WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC CLEANED IF IT IS NONFUNCTIONAL BY EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE CITY OF MERCER ISLAND. ALSO, ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.
- ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1' AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8" ROCK/40% -70% PASSING; 2"-4" ROCK/30% -40% PASSING; AND 1"-2" ROCK/10% -20% PASSING.
- IF ANY PART(S) OF THE CLEARING LIMIT BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN IS/ARE DAMAGED, IT SHALL BE REPAIRED IMMEDIATELY.
- ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF.
- DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE SYSTEM. IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RE-CLEANING THE ENTIRE DOWNSTREAM STORM SYSTEM, OR POSSIBLY RE-LAYING THE STORM LINE.
- PRIOR TO THE OCTOBER 1 OF EACH YEAR (THE BEGINNING OF THE WET SEASON), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. THE IDENTIFIED DISTURBED AREA SHALL BE SEEDED WITHIN ONE WEEK AFTER OCTOBER 1. A SITE PLAN DEPICTING THE AREAS TO BE SEEDED AND THE AREAS REMAIN UNCOVERED SHALL BE SUBMITTED TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR. THE INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.



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SCALE:
AS NOTED

PROJECT MANAGER:
YANNICK METS, PE

PROJECT ENGINEER:
ALREZA RAMEZANI, PE

DESIGNER:
LEE M. TOMKINS

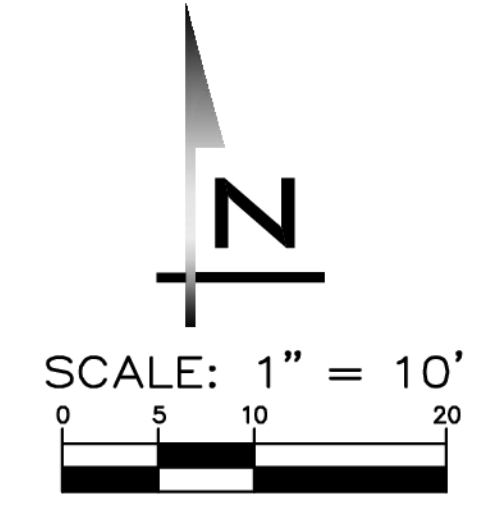
ISSUE DATE:
10/14/2022

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TESC NOTES & DETAILS
4215 MERCERWOOD DR
SITE PLAN
 CITY OF MERCER ISLAND WASHINGTON



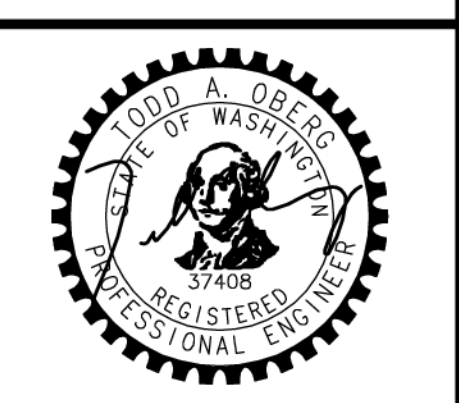
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20-410
SHEET NAME:
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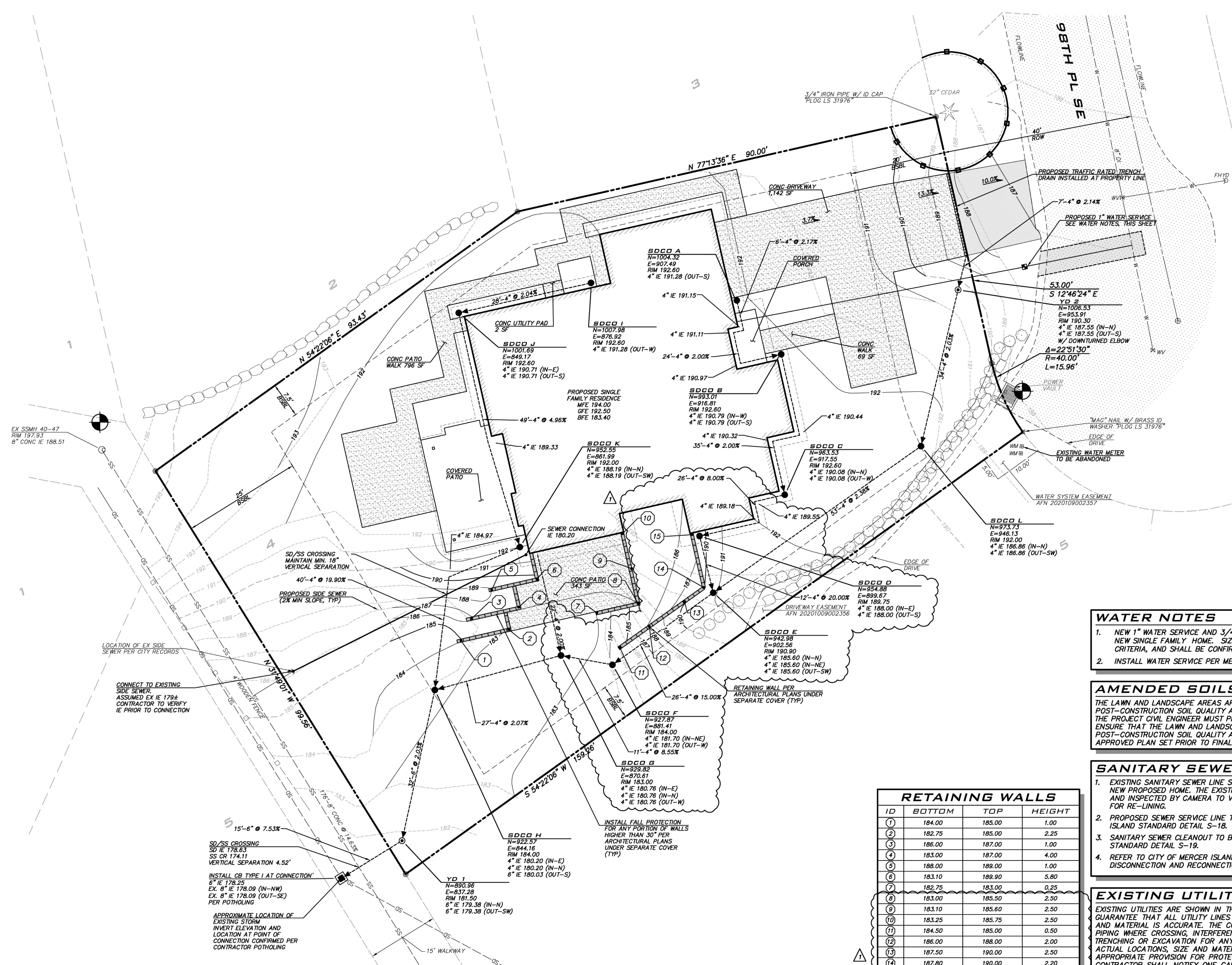
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SITE PLAN
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 CITY OF MERCER ISLAND WASHINGTON



10/14/22
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 SHEET NAME:
SP-01
 SHT **4** OF **5**



WATER NOTES

- NEW 1" WATER SERVICE AND 3/4" METER SHOWN IS TYPICAL SIZE FOR A NEW SINGLE FAMILY HOME. SIZE MAY VARY, BASED ON UPC SIZING CRITERIA, AND SHALL BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
- INSTALL WATER SERVICE PER MERCER ISLAND SDT DTL W-13.

AMENDED SOILS

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

SANITARY SEWER NOTES

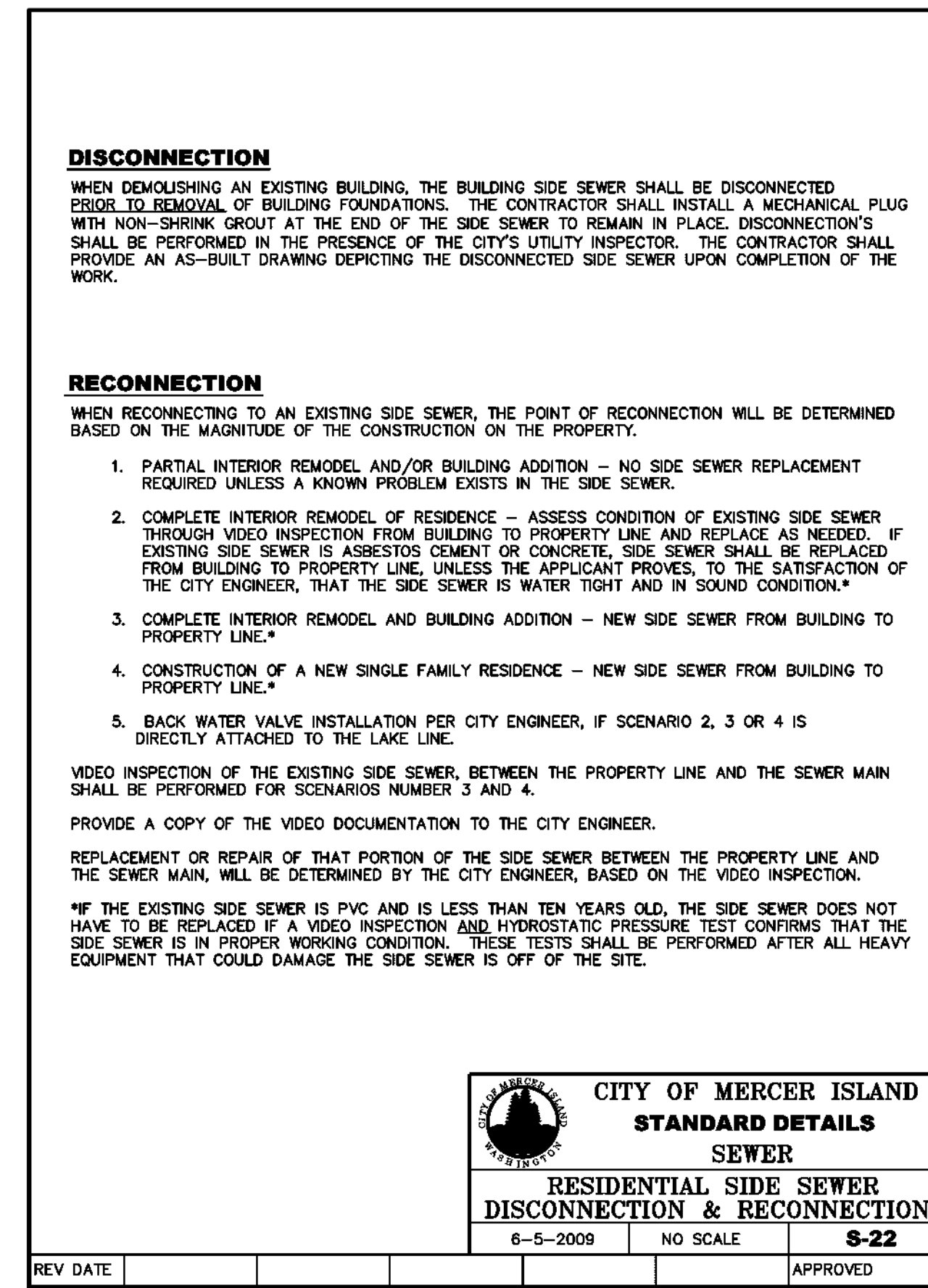
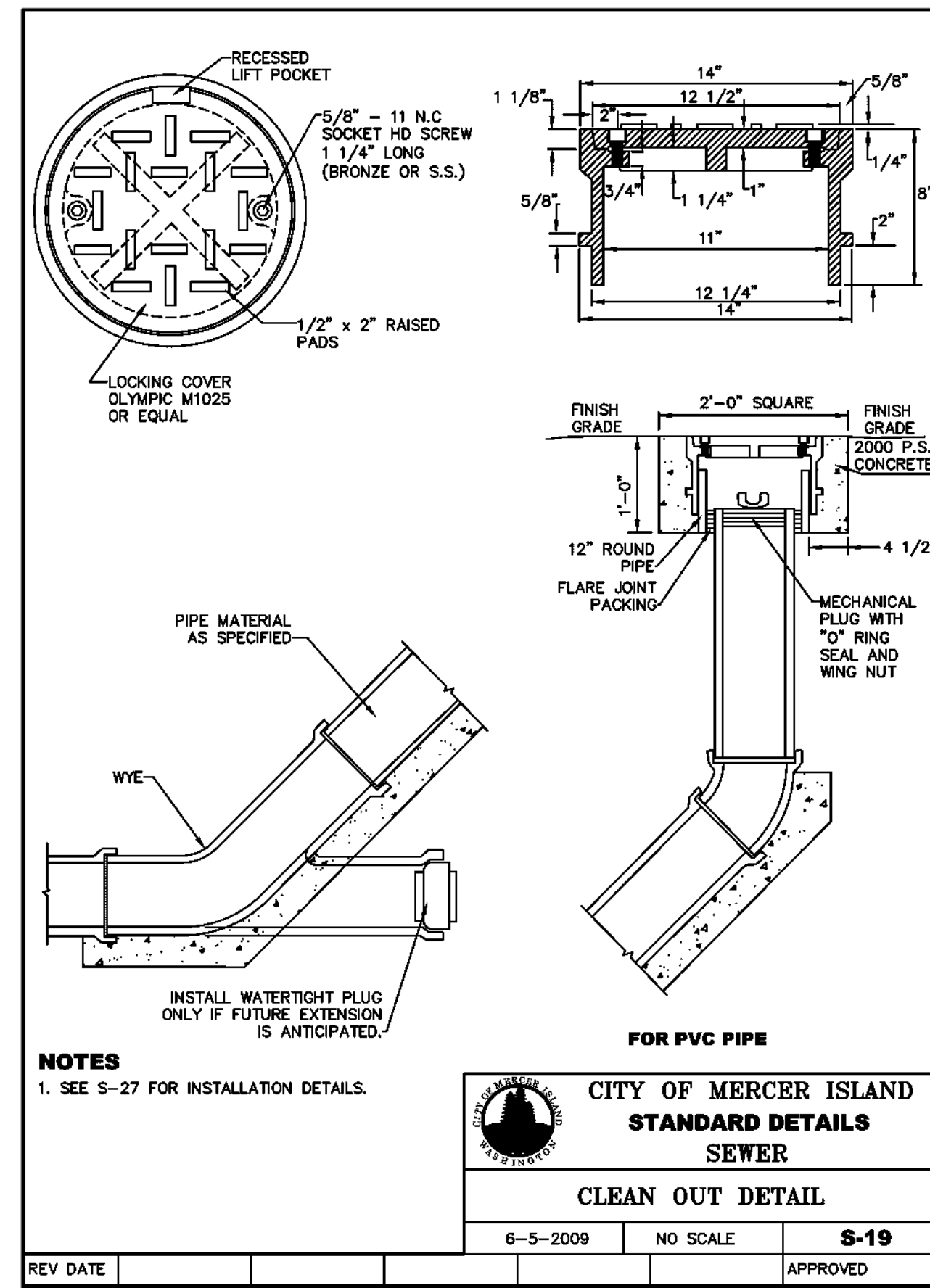
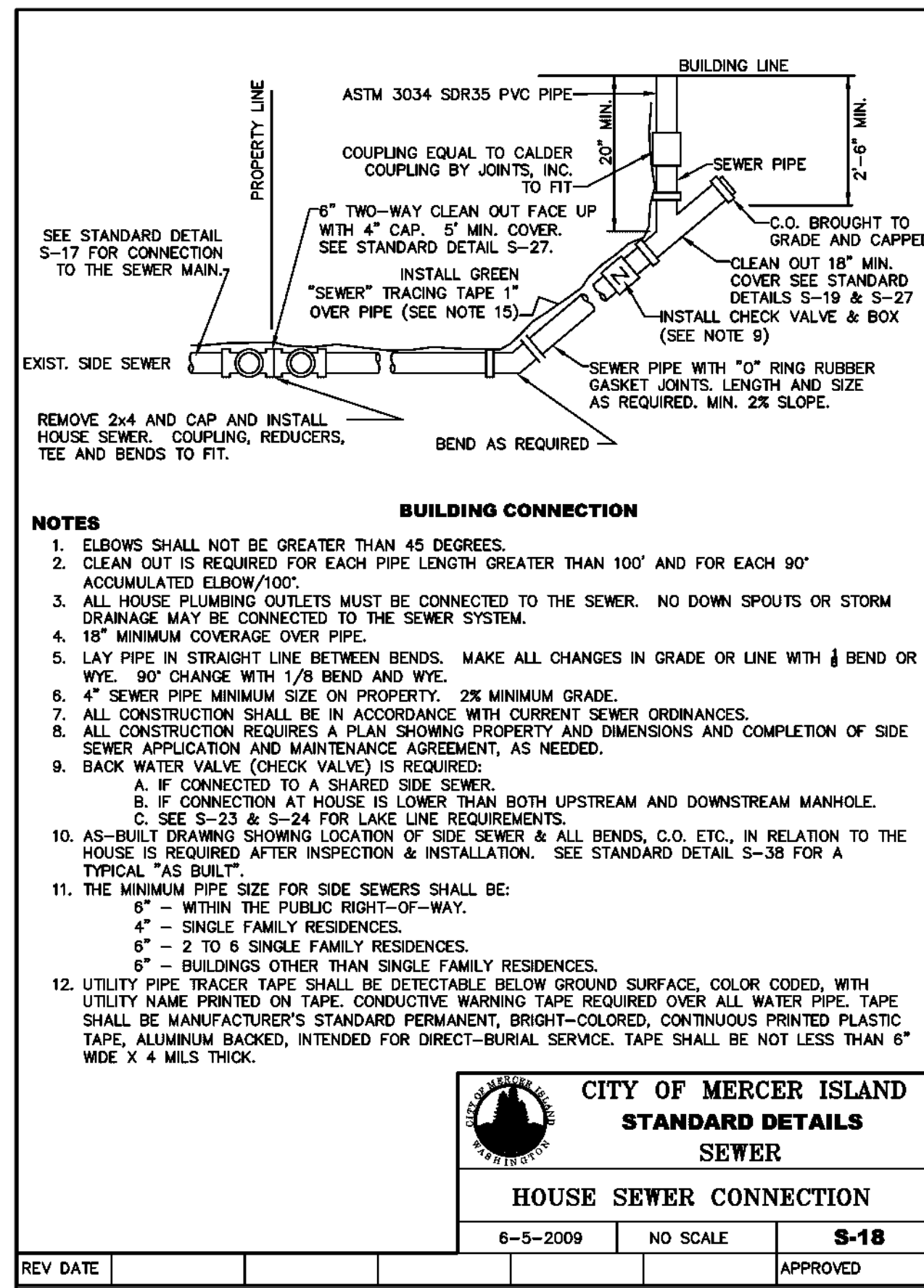
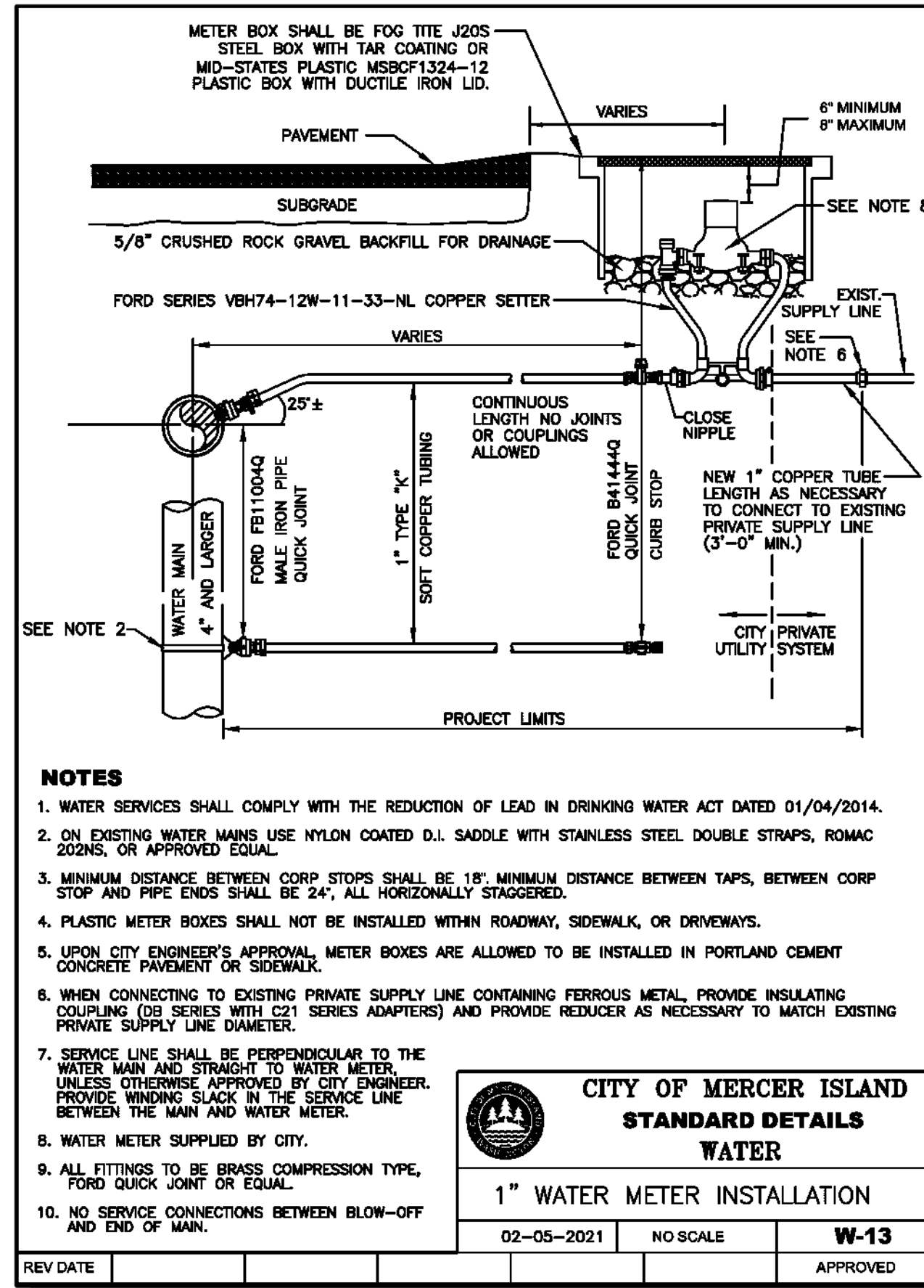
- EXISTING SANITARY SEWER LINE SHALL BE RE-USED FOR SERVICE FOR THE NEW PROPOSED HOME. THE EXISTING SS LINE SHALL BE CLEANED, LOCATED AND INSPECTED BY CAMERA TO VERIFY SUITABILITY FOR RE-USE AND NEED FOR RE-LINING.
- PROPOSED SEWER SERVICE LINE TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-18.
- SANITARY SEWER CLEANOUT TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-19.
- REFER TO CITY OF MERCER ISLAND STANDARD DETAIL S-22 FOR DISCONNECTION AND RECONNECTION NOTES AND SPECIFICATIONS

RETAINING WALLS

ID	BOTTOM	TOP	HEIGHT
1	184.00	185.00	1.00
2	182.75	185.00	2.25
3	186.00	187.00	1.00
4	183.00	187.00	4.00
5	188.00	189.00	1.00
6	183.10	189.90	5.80
7	182.75	183.00	0.25
8	183.00	185.50	2.50
9	183.10	185.60	2.50
10	183.25	185.75	2.50
11	184.50	185.00	0.50
12	186.00	188.00	2.00
13	187.50	190.00	2.50
14	187.80	190.00	2.20
15	186.50	189.00	2.50

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SHT 5 OF 5

CITY OF MERCER ISLAND
REGISTERED PROFESSIONAL ENGINEER